

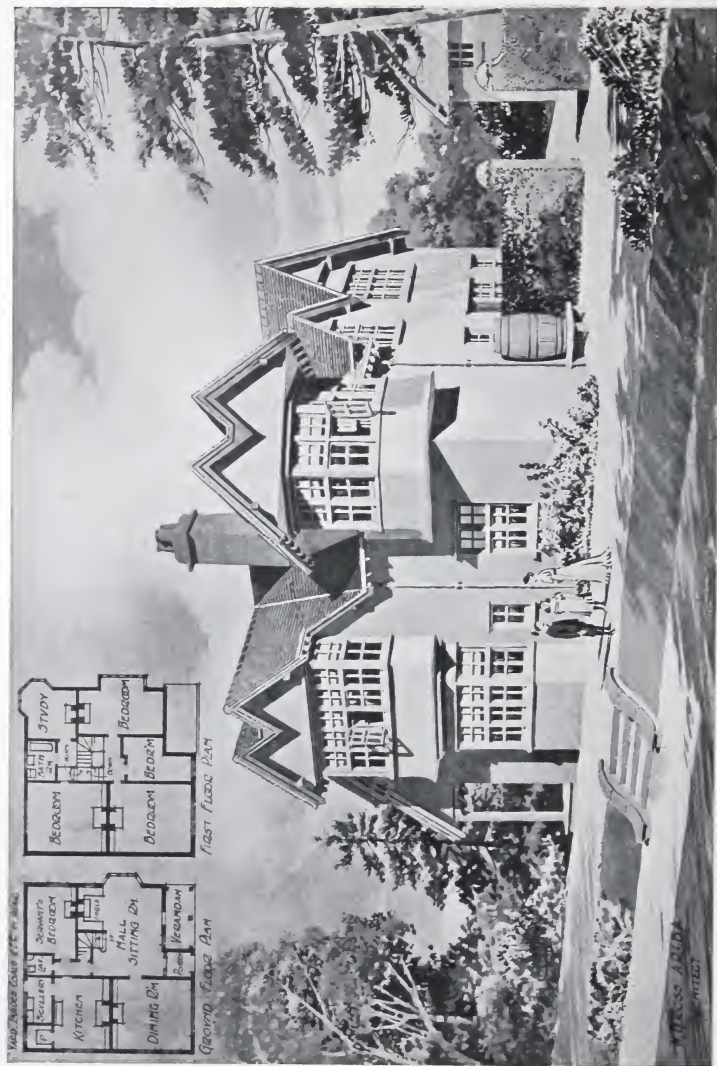
SOME SMALL HOUSES

ILLUSTRATED



WALTER GROSS
ARCHITECT

Plate 1



House near Farnham, Surrey

For particulars see page 15.

SOME SMALL HOUSES

WITH 33 FULL PAGE PLATES
AND OTHER ILLUSTRATIONS.

BY

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(Associate of the Royal Institution of British Architects).

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“.....the entire vitality of Art depends upon its being
either full of truth, or full of use; and..., however,.....
impressive it may be in itself, it must yet be of inferior
kind,.....unless it has clearly one of these main objects—
either *to state a true thing*, or to *adorn a serviceable one*.”

RUSKIN in “*Lectures on Art*.”

PREFACE.

THE houses illustrated in the following plates have in most cases been built for the owners who are living in them. The plans will be found practical and carefully thought out, and none of the sketches are of impossible houses such as are frequently met with, while several of the buildings have been erected with slight variations a number of times. One or two have not yet been built, but in these cases complete working drawings have been prepared and the cost carefully estimated, the erection being only a matter of time.

Both Country and Suburban houses are illustrated, the cost of erection varying from £200 to £2,000.

It is hoped that this publication will be of use to those proposing to build. The information contained is the result of actual experience gained in designing, and carrying out many works of this class, and will be found reliable. It is intended to give the prospective owner an idea of what he may expect in accommodation and design for a given cost.



Proposed House, Hornchurch.

For Plans see next page.

SOME SMALL HOUSES.

BEFORE proceeding to the plates a few words will not be out of place as to the Principles and Practice which have regulated the plans and design of the houses shewn. The criticism may be made that some of the plans shewn are not consistent with these Principles. The reply to this is that a compromise has often to be made. Work has to be carried out under unfavourable conditions, and circumstances sometimes combine to make a perfect plan impossible.

The Plan

This will be regulated by the site, aspect, and tastes of the proposed occupier. The end in view is to produce a simple, straightforward plan with no waste space, giving a maximum of comfort, while it can be worked with a minimum of labour. To this end the means of communication between the most used apartments must be short, the arrangement of the rooms must be carefully considered and knowledge and experience brought to bear on many details.

The Hall

Here the Architect has the opportunity of giving a pleasing first impression. The Hall and Staircase offer possibilities of characteristic treatment not found, in the same degree, elsewhere in a small house and this should be taken full advantage of. If it

is to be a Sitting Room Hall or Lounge it must be approached from an Entrance Hall with sufficient wall space for the necessary hall furniture and double doors to ensure comfort in winter. It is undesirable that the traffic from the Kitchen to the front door should cross the Lounge Hall, and to prevent this the Kitchen must open on to or be connected with the Entrance Hall as in plate 24.

This may be outside the Hall proper and separated from it by a screen as in plate 7, or it may be round the Hall with the first floor landing forming a gallery as in plate 25. In this the Hall runs up two stories and a cosy nook is formed under the stairs. A 7" rise and a 9" tread gives a comfortable stairway, and for more expensive houses 6" and 10" will be found satisfactory. Winding stairs are avoided where possible but in the smaller houses they cannot always be dispensed with.

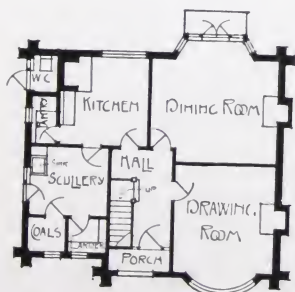
A large mullioned window on the stairs is always an effective feature, and can usually be made to light both the Hall and Landing, while thoroughly ventilating the house. In houses with an east and west aspect it is a good idea to have staircase windows front and back so as to get the sun right through the house every day, and also to be able to open the windows for ventilation under almost any atmospheric conditions, see plates 3, 14 and others.

Where the cost will admit of it a Lavatory should be provided on the Ground Floor, and this should be entered from a lobby leading from the Garden Entrance, as in plates 4, 23 and 28.

In all the rooms the relative position of the door, window and fireplace must be carefully considered. These may be thought small matters, but they are some of the points which must be considered if the house is to be comfortable. Each room should have one good window placed to catch as much sun as possible, the Morning Room facing east, the Dining Room or Living Room

Staircase

Reception Rooms



Proposed House, Hornchurch.

PLANS:
GROUND AND
FIRST FLOOR.
Reception Rooms
(1) 16 ft. 6 ins. x
13 ft. 6 ins.;
(2) 16 ft. x 13 ft.
Bed Rooms
(1) 16 ft. 6 ins. x
13 ft. 6 ins.;
(2) 14 ft. x 13 ft.
Plot 45 ft.
Cost £350.



For Sketch see preceding page.



Cottage, Woking.

For Plans see next page.

east to south, and the Drawing Room west. The rooms should not be square, and the principal window should when possible be placed on one of the long sides. A secondary window may be permissible to give light by the fire side, but not more than one, as much window makes the room cold in winter, and reduces the wall space which is necessary for the comfortable disposal of the furniture. It greatly adds to the cheerfulness of the room if the windows are low; in the houses illustrated the lower glass line is 2' 6" above

the floor, and where French Casements are introduced the glass runs down to the floor. The fireplace should be arranged as far as possible from the door and this often necessitates its being on the outside wall. Objection is sometimes taken to this arrangement on account of the loss of heat through the external wall but this is more than compensated for by the increased space through being able to build the chimney outside instead of projecting into the room. If one of the modern forms of barless grates be adopted the loss of heat up the chimney and through the external wall is not nearly so great as with the older type of stove.

The doors should open so as to expose and give direct access to the largest portion of the room and should be placed not less than 18" from any corner. When a Lounge Hall is provided it is a good plan to have double doors to the Drawing Room, one only for use in the ordinary way, while on occasion both can be thrown open, and the Drawing Room and Hall used en suite. The size of rooms must necessarily depend on the proposed outlay, but the Dining Room should not be less than 14' wide as this just allows space for waiting round an ordinary dining table.

Kitchen & Offices

These must be of ample size; it is poor policy in designing a house to reduce these in order to give more accommodation or style in the Hall and Reception Rooms. The comfort and well-

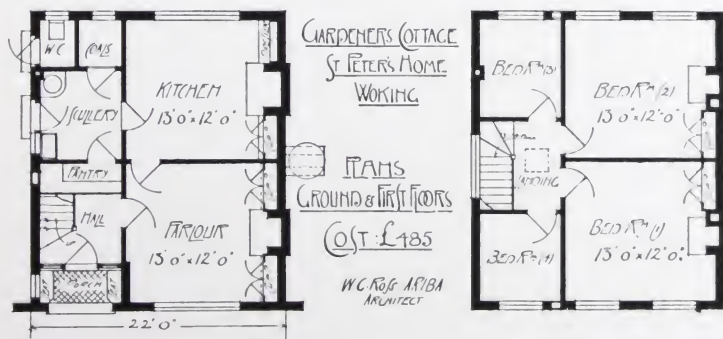
being of all the inmates depends on efficient work being done here, and to this end space and good lighting are necessary.

It is well where practicable to place the Kitchen, Pantry and Dining Room en suite, as in plates 6, 20 and 24, with a lobby leading to the Hall. This arrangement tends to prevent the smell of cooking pervading the house, and also provides a means of communication between the Kitchen, Pantry and Dining Room, apart altogether from the Hall which thus becomes a more comfortable and private apartment. The Kitchen window must be at the side of the stove so as to give a good light on the hot plate. It should face north and in small houses where a Servants' Sitting Room is out of the question a secondary window should be provided, where possible, so as to catch some sun and make the kitchen more cheerful.

If conditions are suitable and cellarage is provided, this should be used as a Coal Cellar, large enough to take a truck of coal, with a smaller one to take Kitchen coal or coke, eleven square feet of floor space being allowed per ton. The Larder and Wine Cellar may also be in the Basement with advantage on account of the more equitable temperature. If the Larder be on the Ground Floor it is imperative that the window face north, it is the only apartment in the house which must not have any sun.

Here again the wall space is invaluable, and while the sun, and especially that from the east, must be courted, it is not often expedient to have more than one window. If the windows are casements they should be in two heights, divided by a transome, the upper lights hung at top to push outward. These provide a convenient means of ventilation at nights when it is impossible to have the side-hung casements open. Care should be taken in selecting the casement fastenings, and especially the stays as many of these cannot be rigidly fixed and therefore rattle when

Bed Rooms



For Sketch see preceding page.

the casement is open in the least breeze and cause annoyance at night. The lower glass line of the Bed Room windows should not be less than 3' 3" from the floor.

The doors should be hung so that as opened they screen the beds. To make the best of a room the bed should be placed on the long axis of the apartment. This arrangement will, in Suburban houses, often bring the bed facing the window, but this is unavoidable if the most is to be made of the floor space.

Bath Room

All Sanitary fittings must be of thoroughly good quality, with a high glaze, and nothing must be used in cleaning which will damage this. This remark specially applies to Baths, and the American type of white porcelain enamelled iron sinks and Lavatory Basins.

The Bath Room floor should be of solid concrete faced with one of the patent jointless floors which do not feel cold to the touch, or a cheaper method is to finish it in cement and lay cork carpet in mastic. The walls should be lined with glazed tiles as high as the door, and the ceiling and frieze should be finished in Keen's cement and painted. Where strict economy must be studied the walls only may be finished in Keen's cement 5' high and enamelled white, this makes a sanitary and easily renovated dado. The walls, floors and ceilings of W.Cs. and Lavatories should be treated in a similar way.

The Bath should be a white porcelain enamel cast iron Roman Bath fitted with a shower apparatus. The Lavatory Basins, House Maid's and other sinks, should be of glazed earthenware, or the American type of white porcelain enamelled iron similar to the bath. The wastes from all fittings should be trapped, and the plumbing generally must be above suspicion.

External Design

A small house should be simple, but simplicity must not be cultivated for its own sake or it will lead to eccentricity. This and studied quaintness are forms of affectation to be guarded against, they may appeal to some at first sight but soon cease to satisfy. It will be well to contradict here the popular fallacy that Architecture and good design are matters of taste. This is not so; there are well defined principles of Architectural design which cannot be neglected if the design is to be satisfactory, and it is the embodiment of these principles in building material that produces Architecture.

In the houses illustrated all eccentricity has been avoided. Simplicity, not for its own sake, but for economy has had to be cultivated and applied ornament has been avoided, not because it is necessarily bad, but because if good it is expensive. The use of materials has not been forced beyond their limitations, and the combination of good material, good proportion, and honest

workmanship has been relied on to give that simple dignity which always delights the educated eye.

The key note to this must be harmony and refinement. If restfulness is to result there must not be glaring opposition, and in passing from one room to another the contrast must not be too great.

Internal Decoration

It is difficult to get away altogether from the use of wall-paper, and where it is used great attention should be paid to the general tone, rather than the pattern or colouring taken separately. If the room be small let the walls be clothed in a self-coloured material and this will apparently increase the size.

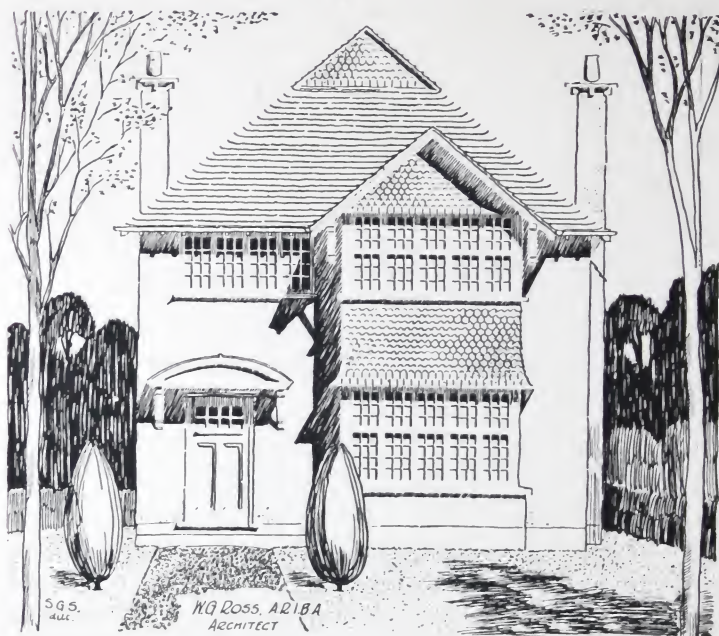
Wall panelling either in hard wood or pine will give a characteristic note to the Hall or Room so treated. An inexpensive and effective treatment is to panel the walls with vertical battens, with a cross rail top and bottom forming panels in one height between the skirting and the capping, which forms a picture rail or plate shelf. These battens may be stained dark or enamelled white, and the plaster panels lined with some suitable fabric or distempered. Artistic effects can be produced with distemper, but it is not to be recommended for wear, or on new



Hall of House shewn in Plate 16.

plaster, the colours do not generally stand any better than wall papers, while plaster walls so treated are cold to the touch and are easily damaged,

If it is desired to glaze the windows with leaded lights, the casements should be of metal, and the lights of good quality, with



House, Belmont, Surrey.

For Plans see next page.

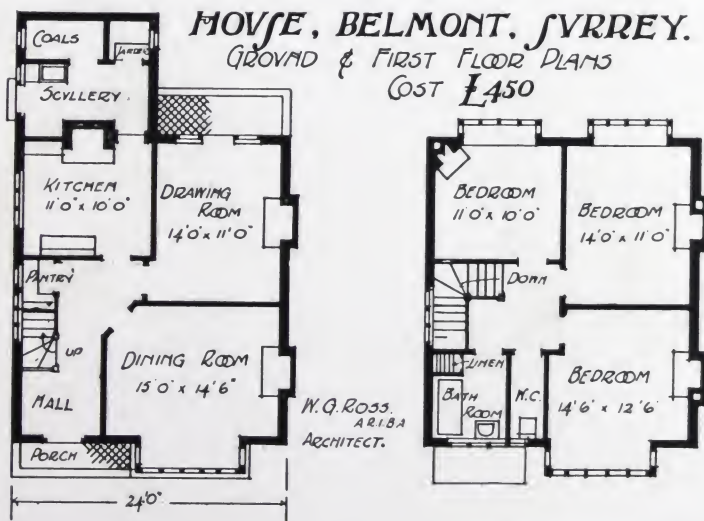
$\frac{1}{2}$ " round lead comes, and thoroughly good cement. If such are used perfect satisfaction will result. The objection to leaded lights, which is constantly met with, is invariably due to unfortunate experiences with some of the very inferior leaded lights often found in speculative houses. If leaded lights are not used the windows should be divided with substantial wood or iron bars, large sheets of plate glass are a mistake and destroy the scale of the building. If stained glass be introduced it must be very sparingly used, and only antique and good quality glasses employed and these should be massed together on a plain ground.

All metal work about the house is worthy of attention, and a little care and very little extra expense in designing, and arranging for the manufacture of some special door, or window fastenings

is amply repaid by the note of distinction given to the house, apart altogether from the pleasure derived in its use. Metal work should be hand finished, the difference in cost between a fair quality machine finished article and a simple one well made and hand finished is a small matter in the cost of a house, while the latter gives tone to and increases the value of the property,

House and garden design must not be separated, and it is now generally recognised that laying out the garden is part of the Architect's work. It must be designed in relation to the house, just as the house must be designed in relation to the natural features of the site. If this is done each will add greatly to the attractions of the other, and not only will the owner derive more enjoyment from both, but he will find the value of his property increased. The amount of enjoyment to be derived from a garden is not in proportion to its size, but depends on its design, and the way in which it is kept. The entrance gates if well designed will add character to the house: nothing is more damaging to the appearance of a small property than a badly hung gate of vulgar design. For the front of suburban houses close boarded fences are undesirable as they hinder the growth of a hedge by shutting out sun and air. An open iron or rustic fence is all that is required and behind this a hedge should be planted. This will in a very short time grow through the fence and entirely hide it from view.

The Garden



For Sketch see preceding page.



Three Villas, Sevenoaks.

For Plans see below.

THE PLATES.

The widths of plots given are not in all cases the actual frontages on which these houses have been erected, but are the minimum it would be desirable to build them on.

The cost given represents a reasonable figure for the erection of the house substantially, with good workmanship and material, and internal fittings, and finish of a simple and suitable kind for the class of property. Some of the houses could be built at a lower figure if necessary.

The sizes of only principal rooms are given, and these are measured into bay windows where such exist.

The Author will be pleased to correspond with anyone interested in the subject and give any further information concerning the houses illustrated.



For Sketch see above.

Plate 1. (THE FRONTISPIECE)
HOUSE NEAR FARNHAM, SURREY.

This house is in a beautiful position on a hill-side and was originally built as a holiday cottage but has since been twice enlarged and is now a large house.

Accommodation:—as plans.

Hall: 20' 0" x 17' 0"; Dining Room: 16' 0" x 14' 0";

Bed Rooms: (1.) & (2.) 16' 0" x 14' 0"; (3.) 17' 0" x 11' 0";

Elevations:—Red tile roof and white stucco walls. Casement windows.

Cost: —£1,125.

Plate 2. HOUSE AT WESTCLIFF-ON-SEA.

Accommodation:—as plans. The Kitchen door may open direct into the Pantry with serving hatch or door leading to Dining Room if desired. The Drawing Room has a recessed Ingle and is entered from the Lounge Hall through double doors.

Lounge Hall: 11' 6" x 11' 6" ;

Reception Rooms: (1.) 20' 6" x 16' 6" ; (2.) 18' 0" x 15' 6" ;

Bed Rooms: (1.) 16' 6" x 14' 0" ; (2.) 18' 0" x 12' 0" ;
(3.) 15' 0" x 12' 6" ;

Elevations:—Red sand faced tile roof. Walls white rough cast with tile hung gable, tile arches and quoins. The windows are sliding sashes.

Plot:—36 ft.

Cost:—£950.

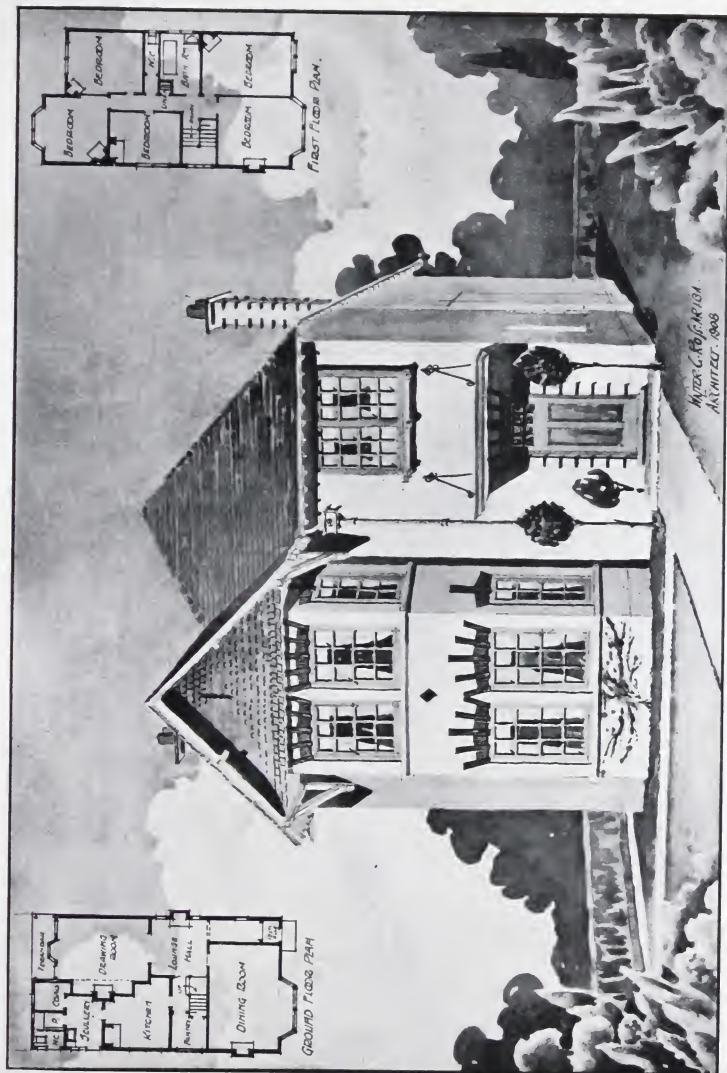


Plate 3.

SEMI-DETACHED HOUSES, SUTTON.

Accommodation as plans with Coal Cellar and Larder in Basement and two good Bed Rooms and Box Room on Second Floor.

Reception Rooms: (1.) 16' 0" x 15' 6": (2.) 16' 0" x 15' 0":

Bed Rooms: (1.) 16' 0" x 15' 6": (2.) 16' 0" x 15' 0":

Three detached houses have also been built on this plan.

Elevations:—Dark tiled roofs. White stucco and red brick walls, with half timbered gables, timbers and barge boards stained dark. The windows are casements and are painted bright green.

Plot:—42 ft.

Cost:—£735 or as a detached house £750.

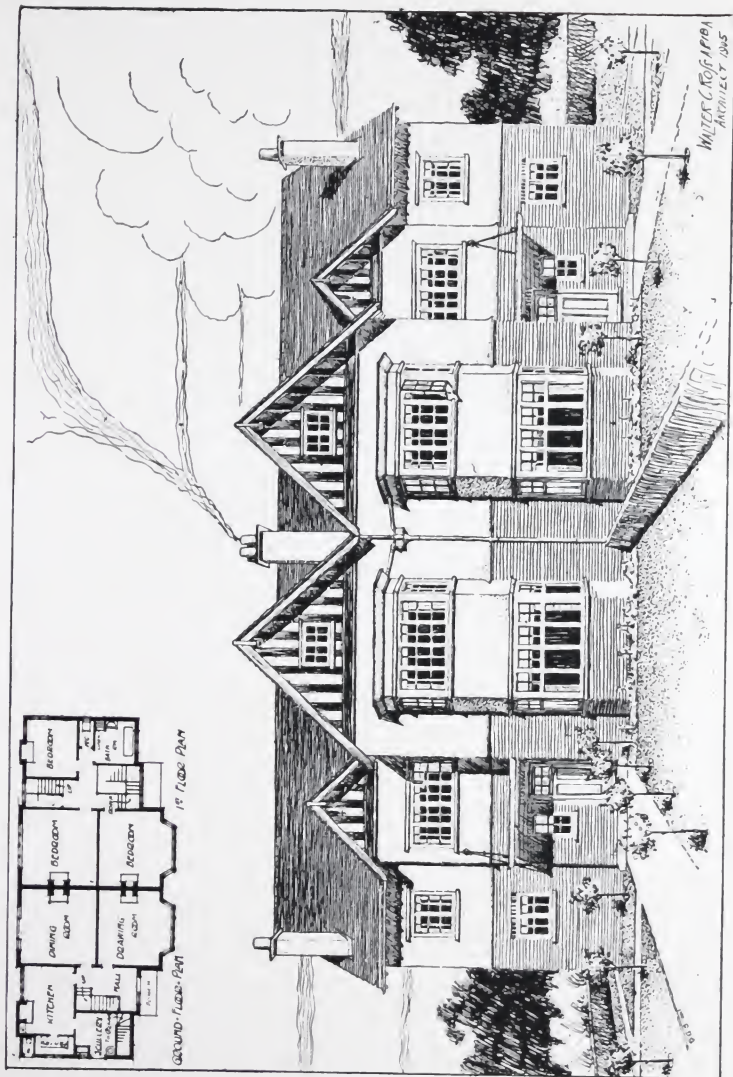


Plate 4.

CORNER HOUSE, HAROLD WOOD, ESSEX.

Accommodation:—as plans.

Reception Rooms: (1.) 18' 0" × 14' 0": (2.) 15' 0" × 15' 0":
(3.) 13' 0" × 11' 6":

Bed Rooms: (1.) 16' 0" × 14' 0": (2.) 15' 0" × 12' 0":
(3.) 13' 0" × 12' 0":

Elevations:—Brown tile roof. Cream rough cast, half timbering stained dark and red brick. Porch constructed in oak. Casement windows, woodwork painted white.

Plot:—45 ft. exclusive of set back to side building line.

Cost:—£1,150.

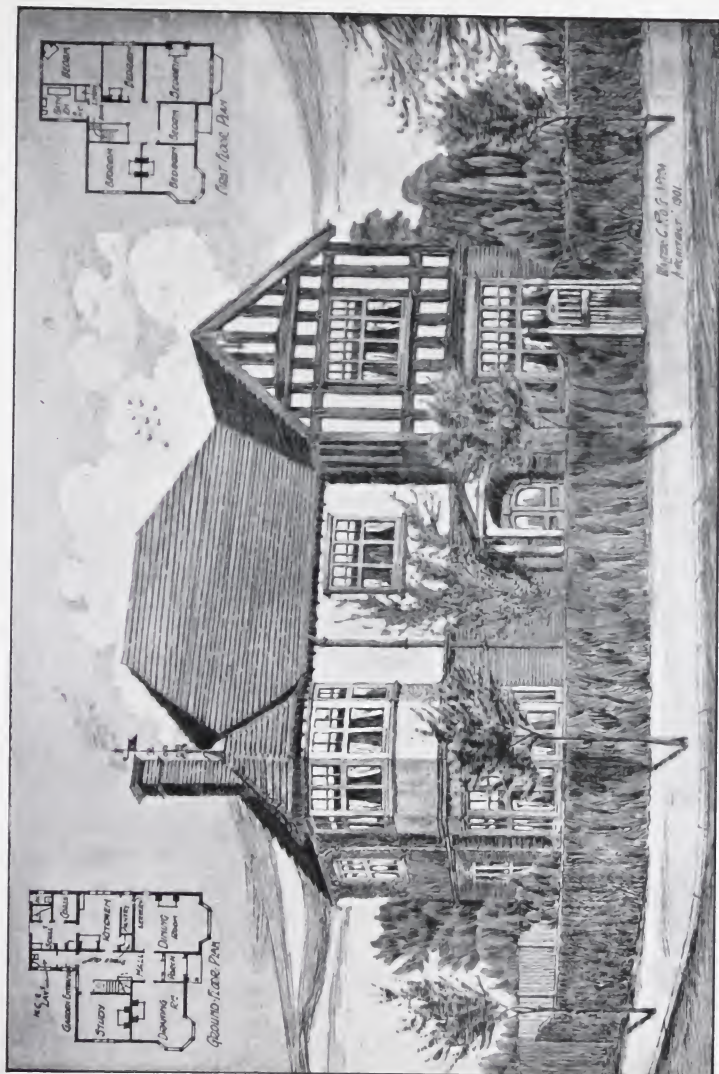


Plate 5. HOUSE AT SUTTON.

Accommodation :—as plans. An exceptionally good Hall and open well Staircase is given for so small a house.

Hall : 19' 0" × 11' 6" :

Reception Rooms : (1) & (2.) 19' 0" × 14' 0" :

Bed Rooms : (1) & (2.) 16' 0" × 14' 0" :

Elevations :—Red tile roof. Walls red brick to lower story and cream rough cast and half timbering to First Floor. Sash windows.

Plot :—50 ft.

Cost :—£725.

Plate 6. HOUSE AT WESTCLIFF-ON-SEA.

Accommodation:—as plans with good storage in roof. The walls and ceiling of Lounge Hall are panelled and the Drawing Room opens on to a Verandah, not shown on the plan.

Lounge Hall: 15' 6" × 11' 0";

Reception Rooms: (1.) 20' 0" × 13' 0"; (2.) 19' 0" × 13' 0";

(3.) 11' 6" × 10' 0";

Bed Rooms: (1.) 20' 0" × 13' 0"; (2.) 19' 6" × 13' 0";

(3.) 15' 6" × 10' 0";

Elevations:—Red tiled roof. Tile hung and timbered gables. Cream rough cast walls and red brick plinth.

Plot:—40 ft.

Cost:—£1,000.

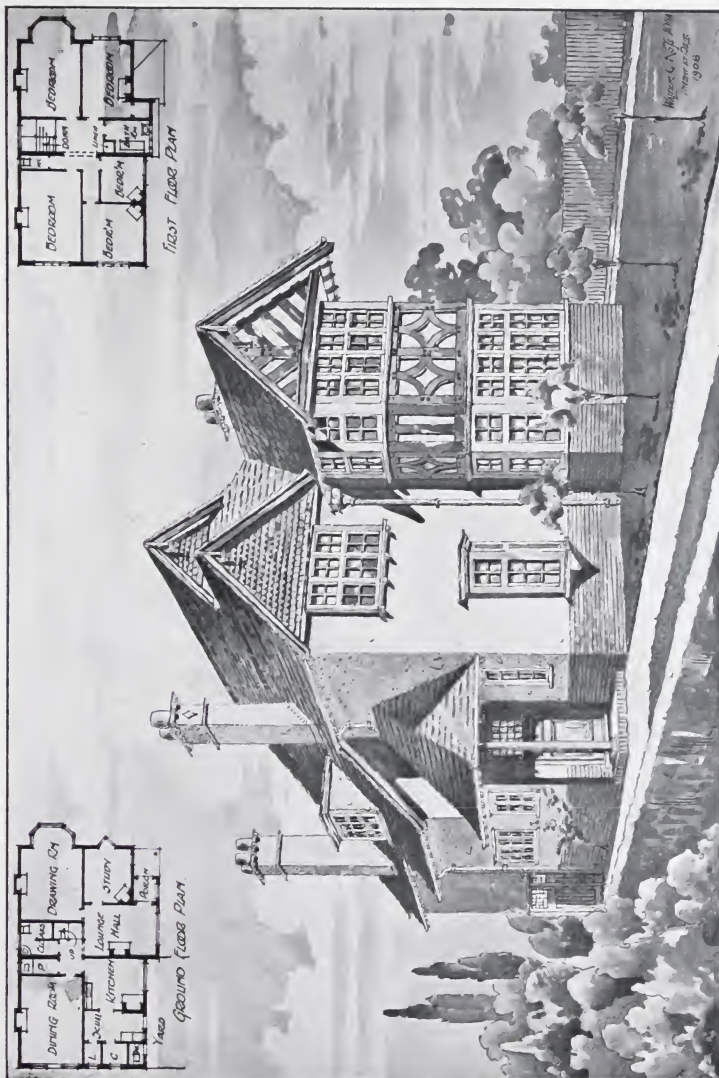


Plate 7. HOUSE AT WESTCLIFF-ON-SEA.

*Interior shewing part of Lounge Hall in house
illustrated in Plate 6. View taken from the
Vestibule door looking towards the stairs.*



Plate 8. HOUSE AT SUTTON.

Accommodation:—as plans and with a good Coal Cellar and Larder in Basement.

Reception Rooms: (1) & (2.) 18' 6" × 14' 6": (3.) 13' 6" × 12' 6":

Bed Rooms: (1) & (2.) 16' 0" × 14' 0": (3.) 14' 0" × 12' 0":

This house has been built twice.

Elevations:—Permanent green slate roof. Wide eaves. White rough cast walls with red brick plinth.

Plot:—50 ft.

Cost:—£825.



Plate 9

SEMI-DETACHED HOUSES, SUTTON

Accommodation:—as plans with Coal Cellar and Larder in Basement and two good Bed Rooms and Box Room on Second Floor. In these houses all the Bed Rooms are a good size and there is a wide, easy and well-lighted staircase up to the top floor.

Reception Rooms: (1.) 16' 0" x 16' 0": (2.) 16' 0" x 13' 6":

Bed Rooms: (1.) 16' 0" x 14' 0": (2.) 16' 0" x 13' 6":

(3.) 12' 6" x 11' 6":

Elevations:—The roofs are covered with black sand faced tiles and the walls are white rough cast with tile paterae, arches and quoins. The window frames are painted bright green and the barge rafters and eaves are stained dark. The front doors are of oak.

Plots:—32 ft. 6 ins. each.

Cost:—£750 each.

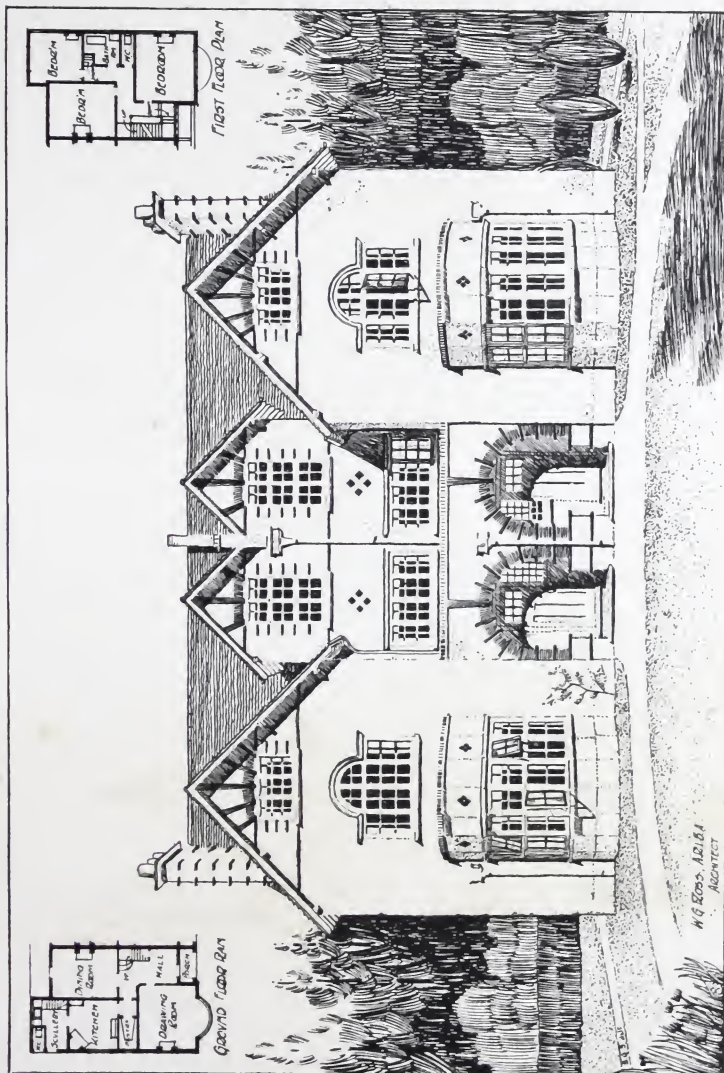


Plate 10.

COTTAGE AT SOUTHMINSTER, ESSEX

Accommodation:—as plans.

Sitting Rooms: (1) & (2.) 13' 0" × 12' 0" ;

Bed Rooms: (1) & (2.) 13' 0" × 12' 0" ;

Elevations:—Dark tile roof with bright red brick walls. Sash windows painted white.

Plot:—40 ft.

Cost:—£454.

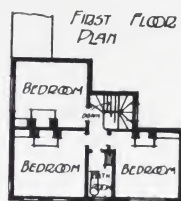
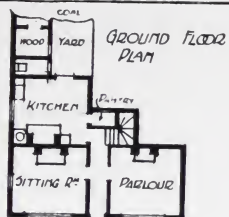


Plate 11. HOUSE, SUTTON, SURREY.

Accommodation:—as plans with Coal Cellar and Larder in Basement and on Second Floor two large Bed Rooms and Box Room.

Reception Rooms: (1.) 20' 6" × 14' 0"; (2.) 18' 0" × 14' 0"; (3.) 13' 0" × 12' 6";

Bed Rooms: (1.) 17' 6" × 14' 6"; (2.) 14' 6" × 14' 6"; (3.) 15' 0" × 12' 6";

Elevations:—Red tiled roof. First Floor walls are covered with pebble dashing and the Ground Floor are red brick. Sash windows.

Plot:—60 ft.

Cost:—£1,175.

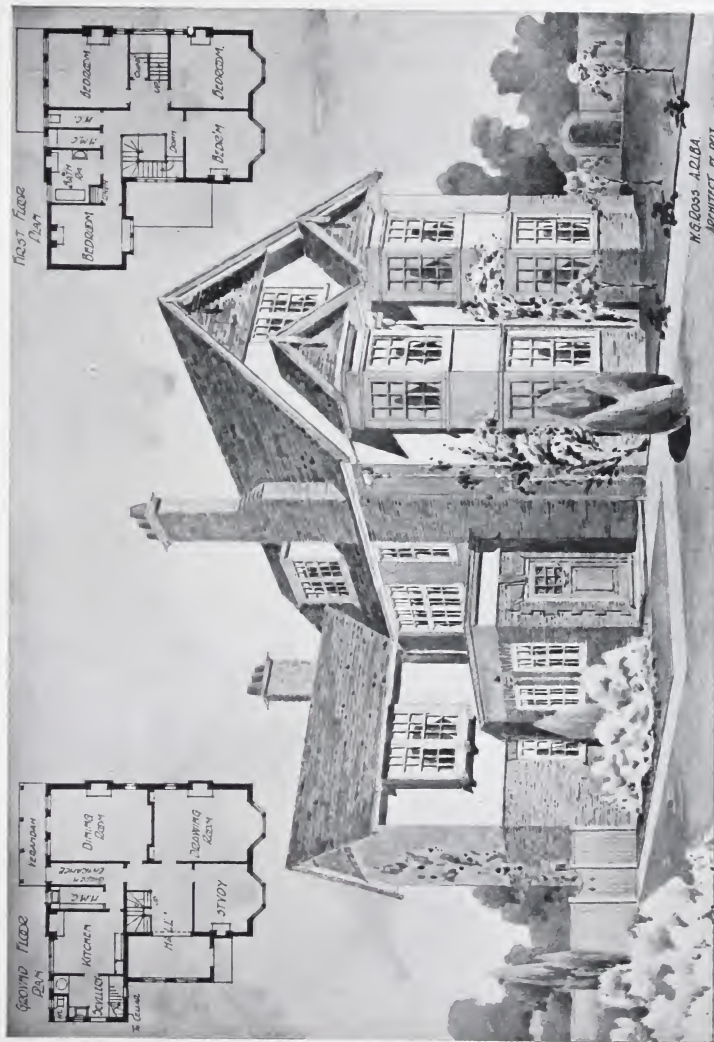


Plate 12.

COUNTRY COTTAGE, HORNCHURCH.

Accommodation :—as plans.

Lounge Hall: 9' 0" × 9' 0":

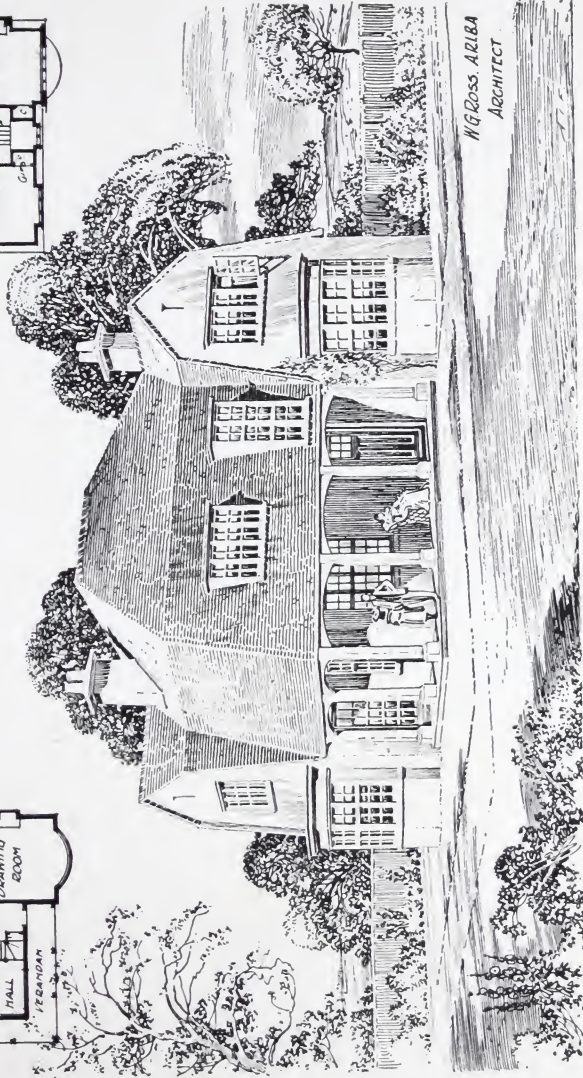
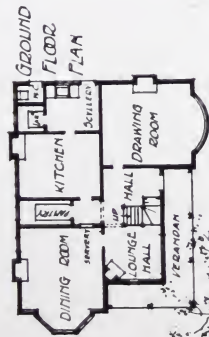
Reception Rooms: (1) & (2.) 18' 0" × 14' 0":

Bed Rooms: (1.) 15' 6" × 13' 0": (2.) 15' 0" × 13' 0":

(3.) 14' 0" × 13' 0":

Elevations :—Red tiled Mansard Roof. White rough cast walls. Casement windows. All wood work painted white.

Cost :—£710.



W. GROSS, ARCHT.
ARCHITECT

Plate 13. HOUSE, SUTTON, SURREY.

This is the front towards the road of house illustrated with plans and particulars in Plate 14.

Elevations :—Walls covered with bright red hanging tiles and white rough cast with rubbed and gauged brick arches to front entrance. Red tiled roof. The windows are casements and are painted white. The barge boards are stained dark. The front door is bright green.



Plate 14. HOUSE, SUTTON, SURREY.

This is the garden front of the house illustrated in Plate 13.

Accommodation:—as plans with Coal Cellars and Larder in Basement and two large Bed Rooms and Box Rooms on Second Floor.

Entrance Hall: 12' 0" x 8' 0";

Staircase Hall: 13' 0" x 12' 0";

Billiard Room: 27' 0" x 18' 0";

Reception Rooms: (1) & (2.) 20' 0" x 14' 0"; (3.) 13' 0" x 12' 0";

Bed Rooms: (1.) 17' 0" x 16' 6"; (2.) 16' 6" x 14' 0"; (3.) 16' 0" x 15' 0";

Elevations:—See Plate 13.

Plot:—80 ft., without Billiard Room 65 ft.

Cost £1,750, if Billiard Room is omitted £1,500.



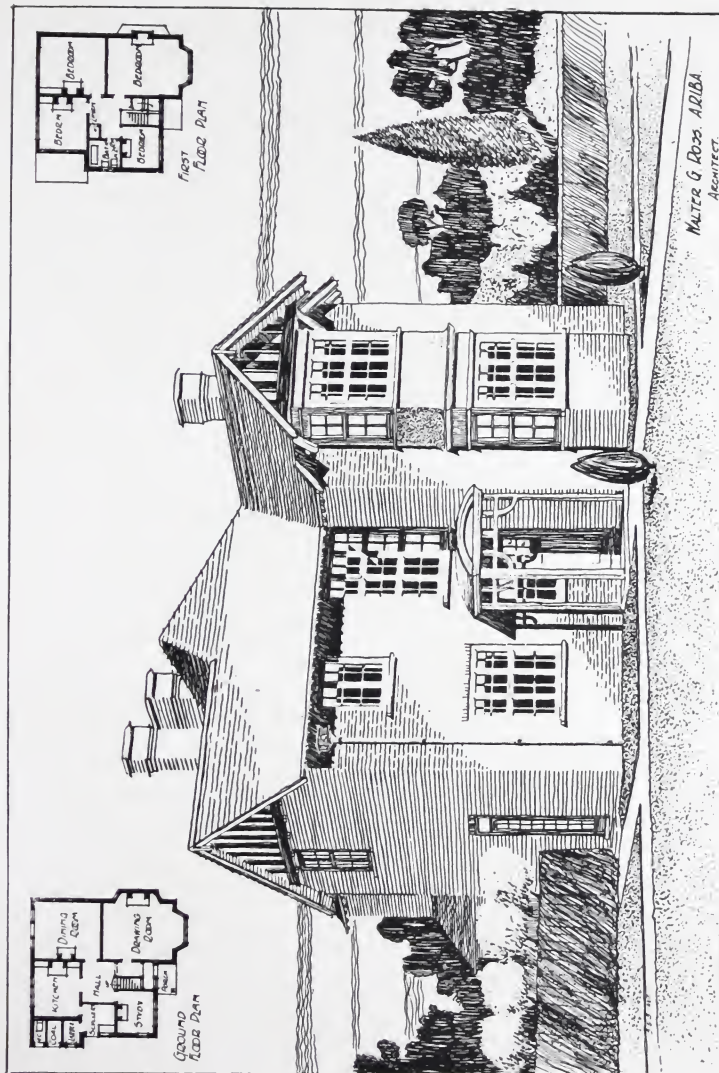


Plate 15. HOUSE, INGATESTONE, ESSEX.

Accommodation:—as plans.

Reception Rooms: (1.) 18' 0" × 13' 0"; (2.) 15' 0" × 13' 0";
(3.) 10' 0" × 9' 0";

Bed Rooms: (1.) 18' 0" × 13' 0". (2.) 15' 0" × 13' 0";
(3.) 13' 0" × 11' 0";

Elevations:—Dark tiled roof and bright red brick walls. Half timbering in gables stained dark with white plaster panels. Casement windows. Woodwork painted white.

Plot:—45 ft.

Cost:—£720.

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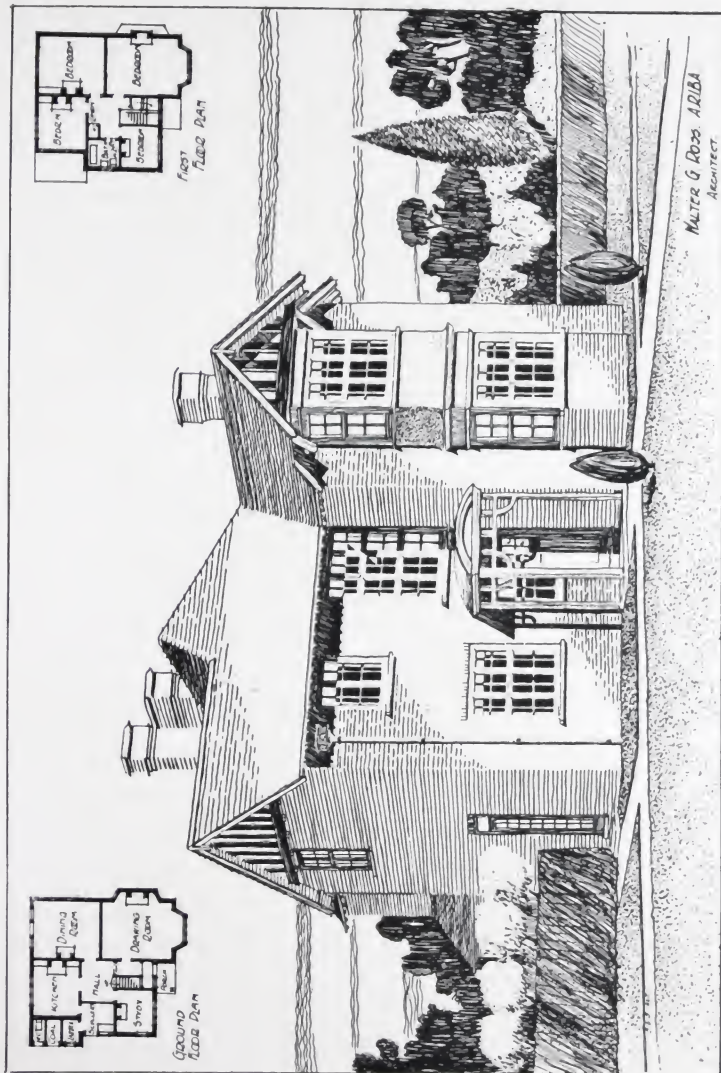


Plate 16.

HOUSE, AT HORNCHURCH, ESSEX.

Accommodation:—as plans.

Hall: 9' 0" × 8' 6":

Reception Rooms: (1.) 16' 0" × 16' 0": (2.) 14' 0" × 13' 0":

Bed Rooms: (1.) 16' 0" × 16' 0": (2.) 14' 0" × 14' 0":

Conservatory: 15' 6" × 8' 0":

Elevations:—Red tiled roof. White stucco walls stippled, with red brick plinth. Half timbering in gables stained dark. Windows are casements and are painted bright green.

Plot:—65 ft.

Cost:—£710.



Plate 17. HOUSE AT SUTTON.

Accommodation:—as plans with Coal Cellars and Larder in Basement, and two good Bed Rooms and Box Room on Second Floor. It was expensively fitted throughout.

Reception Rooms: (1) & (2.) 18' 0" × 16' 6": (3.) 17' 0" × 14' 0":

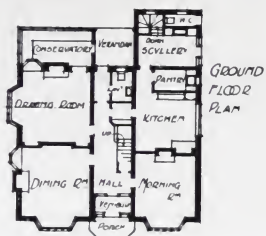
Bed Rooms: (1) & (2.) 18' 0" × 16' 6": (3.) 17' 0" × 14' 0":

Conservatory: 16' 6" × 8' 6":

Elevations:—Black tiles on roof. Red brick walls. Casement windows with frames painted white. Half timbering in gables and over bay stained dark, with white plaster panels. The entrance gates are of Teak with bronze fittings.

Plot:—75 ft.

Cost:—£1,815.



FIRST FLOOR PLAN

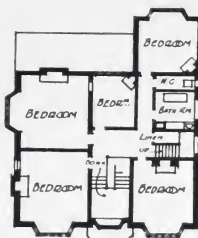


Plate 18. HOUSE AT SUTTON

Interior of Dining Room of house illustrated in Plate 17. The wall panelling and ceiling beams are oak (fumed and waxed polished) and the frieze and ceiling panels are Keen's cement left rough and painted.



Plate 19.

HOUSE NEAR WIMBLEDON COMMON.

Accommodation:—as plans.

Reception Rooms: (1) & (2.) 16' 9" × 16' 0":

Bed Rooms: (1.) 16' 9" × 16' 0": (2.) 14' 0" × 13' 0":

(3.) 14' 6" × 12' 0":

Elevations:—Roofs are covered with Westmoreland green slates, the eaves are wide with wrought-iron gutter brackets, and the walls are covered with white stucco left rough and have a red brick plinth. The windows are casements glazed with leaded lights. The iron work is painted dead black and the wood work bright green. The front door is of oak stained dark and wax polished.

Plot:—45 ft.

Cost:—£725.

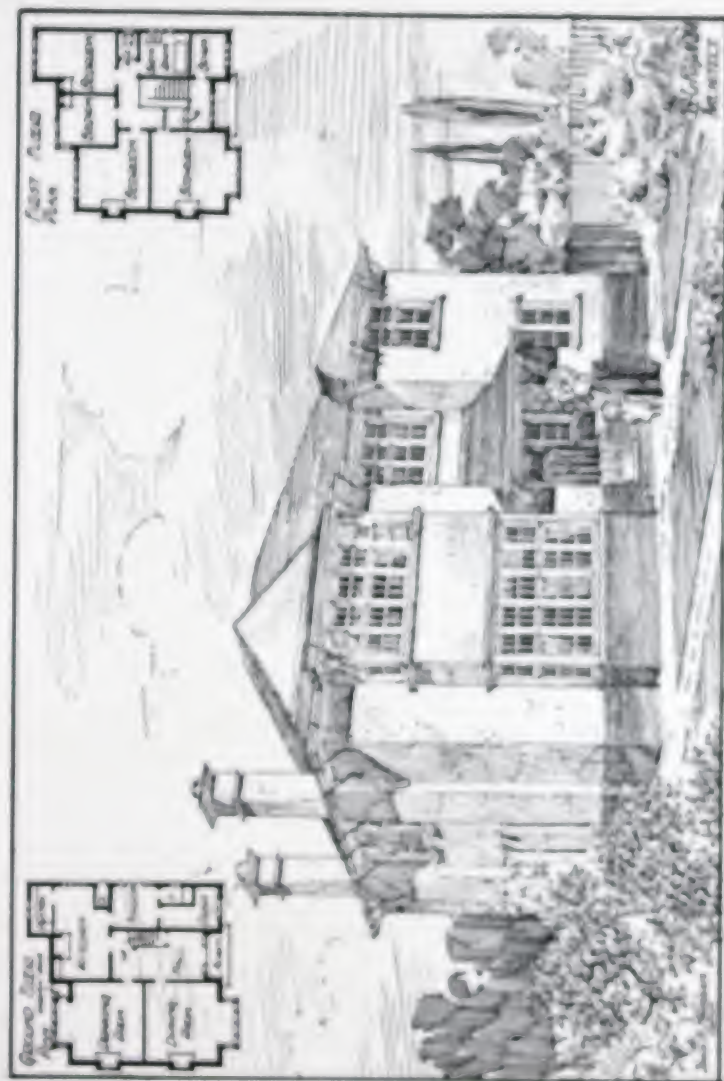


Plate 20. COUNTRY HOUSE IN SURREY.

This house has not yet been built but complete working drawings have been prepared and the design has been thoroughly worked out.

Accommodation:—as plans with Coal Cellars and Larder in Basement.

Lounge Hall: 20' 0" × 15' 6" :

Reception Rooms: (1.) 19' 6" × 19' 0" : (2.) 20' 0" × 15' 0" :
(3.) 15' 0" × 15' 0" :

Bed Rooms: (1.) 20' 6" × 14' 0" : (2.) 17' 6" × 14' 0" :

Elevations:—Red brick with biscuit coloured terra cotta dressings, diaper pattern formed with over-burnt bricks. The roofs are covered with red tiles and the turret roof is copper. The windows are metal casements glazed with leaded lights.

Plot:—75 ft.

Cost:—£1,725.

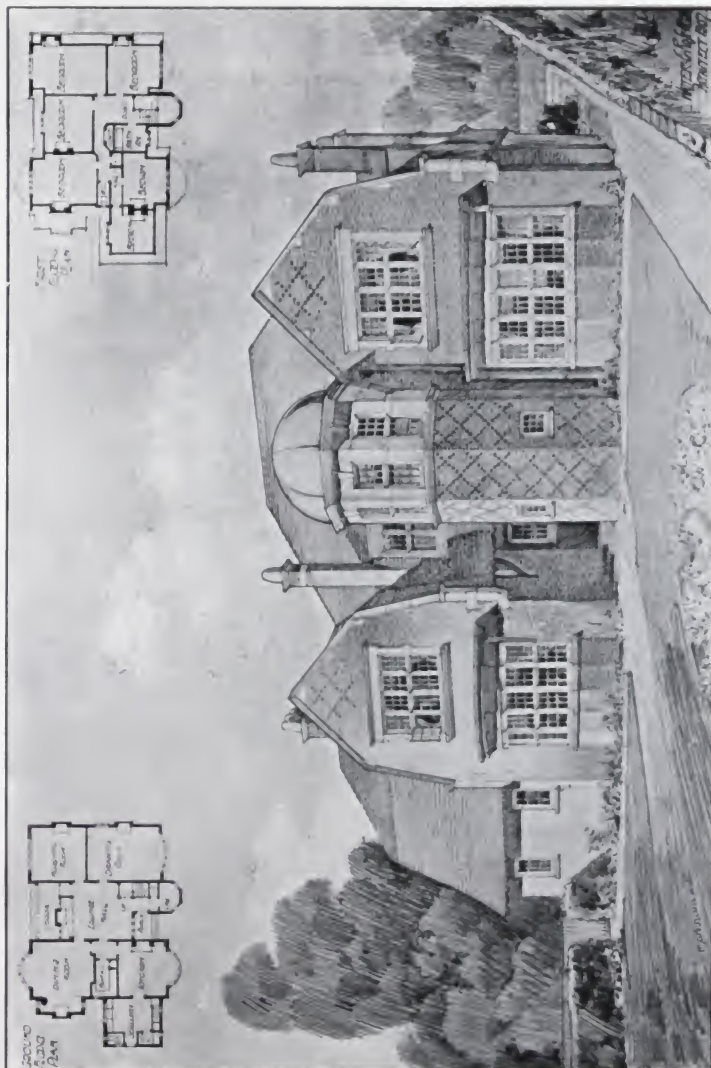


Plate 21. COUNTRY HOUSE, SURREY.

Interior of Hall of house illustrated in Plate 20. View from foot of stairs looking towards Ingle.

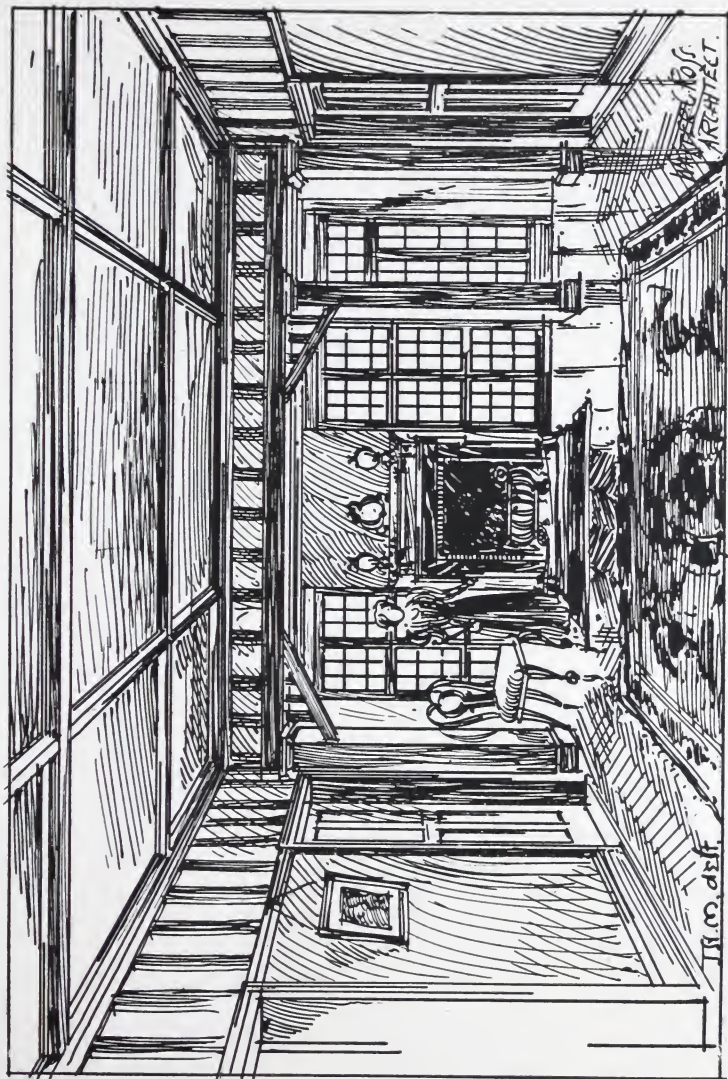


Plate 22.

BUNGALOW COTTAGE NEAR WARE.

This house built for a head gardener on an estate but is also suitable for a gentleman's holiday cottage.

Accommodation:—as plans.

Living Room: $13\frac{1}{2}$ ft. \times $12\frac{1}{2}$ ft.; Kitchen: $13\frac{1}{2}$ ft. \times $11\frac{1}{2}$ ft.;
Bed Room: $11\frac{1}{2}$ ft. \times $11\frac{1}{2}$ ft. \times $10\frac{1}{2}$ ft.; $12\frac{1}{2}$ ft. \times $8\frac{1}{2}$ ft.;
 $13\frac{1}{2}$ ft. \times $8\frac{1}{2}$ ft.

Elevations:—Red tile roof. White rough cast walls with English oak timbering. The windows have oak frames with wrought-iron ornaments glazed with leaded lights.

Cost:—£400.



Plate 23 HOUSE IN SURREY.

This house has been built four times and the plan is very satisfactory where a Lounge Hall is not desired.

Accommodation:—as plans with Coal Cellar and Larder in Basement, and Bed Room and Box Room in roof. The Dressing Room on First Floor is large enough for a single Bed Room.

Reception Rooms: (1) & (2.) 18' 6" \times 14' 0"; (3.) 13' 6" \times 12' 0" $\frac{1}{2}$.

Bed Rooms: (1.) 18' 6" \times 14' 0"; (2.) 16' 6" \times 14' 0"; (3.) 14' 6" \times 12' 0" $\frac{1}{2}$.

Elevations:—Bright red tiled roof. White rough cast walls and tile hung gables and bays.

Plot:—50 ft.

Cost:—£950.



Plate 24.

HOUSE AT WESTCLIFF-ON-SEA, ESSEX.

Accommodation:—as plans. Note the Lounge Hall running up two floors with Landing forming a Gallery round it giving breadth and appearance of spaciousness, very unusual in a small house.

For sketch of Hall see next plate.

Lounge Hall: 15' 0" × 12' 0":

Reception Rooms: (1.) 20' 0" × 13' 0": (2.) 18' 0" × 15' 0":
(3.) 12' 6" × 10' 0":

Bed Rooms: (1.) 16' 6" × 15' 0": (2.) 20' 0" × 13' 0":
(3.) 16' 9" × 12' 6":

Elevations:—Bright red tiled roof, wide eaves, white stucco walls. Casement windows with frames stained dark and oiled.

Plot:—40 ft.

Cost:—£1,050.



ROG. THE BATHING
- PAVING STONE -

Plate 25. HOUSE AT WESTCLIFF-ON-SEA.

Interior, shewing Hall and Staircase of house illustrated in Plate 24. View looking from near Drawing Room door. The walls are panelled and enamelled white as high as doors and the ceiling and frieze under landing are rough cast. The Second Floor ceiling and frieze are panelled with timbers stained dark.

There is a Vestibule with double doors to Entrance Hall which is not shewn on the plan.

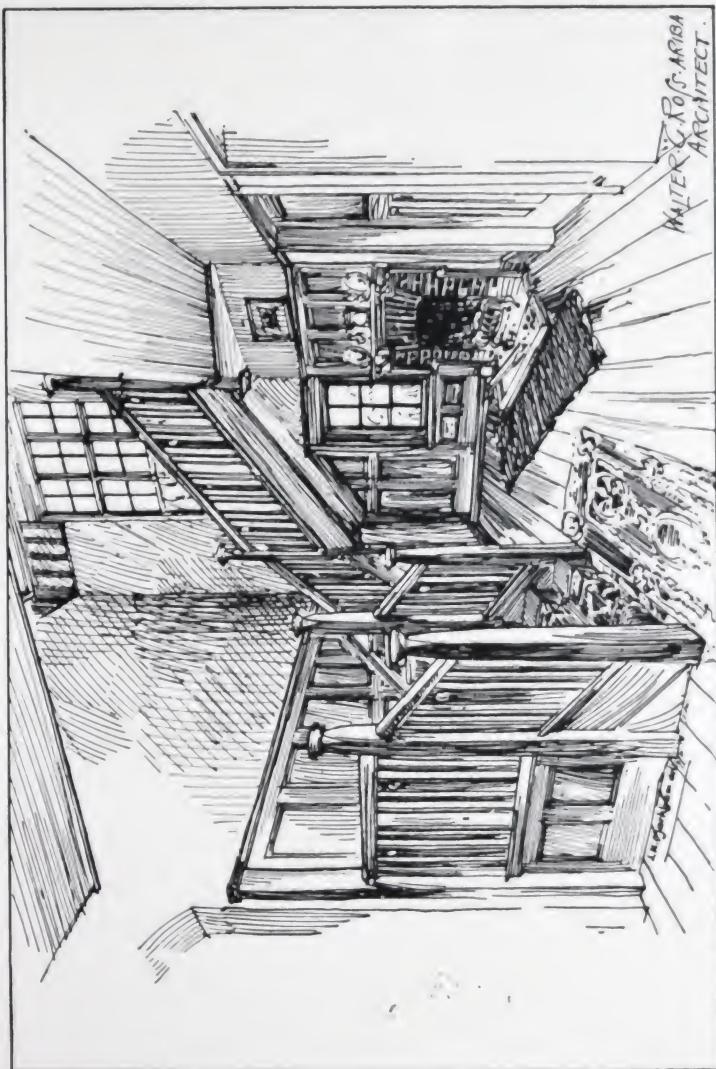


Plate 26. HOUSE, SUTTON, SURREY.

Accommodation:—as plans, and with Coal Cellar and Larder in Basement and good Bed Room in roof. The Dressing Room shewn is large enough for a single Bed Room.

This house has been built five times.

Reception Rooms: (1) & (2.) 18' 0" × 14' 0": (3.) 14' 0" × 12' 0":

Bed Rooms: (1) & (2.) 16' 0" × 14' 0": (3.) 14' 0" × 12' 0":

Elevations:—Red tile roof and tile hung gables and bay. White rough cast walls. Casement windows.

Plot:—50 ft.

Cost:—£900.



FIRST FLOOR PLAN

GROUND FLOOR PLAN

WALTER C. HOFFMAN
August 07

Plate 27. HOUSE, WIMBLEDON PARK

This is a corner house.

Accommodation :—as plans.

Reception Rooms: (1.) $26' 0'' \times 15' 0''$: (2.) $17' 0'' \times 14' 0''$:
(3.) $10' 0'' \times 9' 0''$:

Bed Rooms: (1.) $17' 0'' \times 14' 0''$: (2.) $15' 0'' \times 13' 6''$:
(3.) $16' 0'' \times 10' 3''$:

Elevations :—The roofs are covered with bright red sand faced tiles which have weathered quite dark. The walls of the Ground story are red brick and those of the First Floor are covered with cream coloured rough cast. The windows are casements.

Plot :—45 ft. exclusive of set back to side building line.

Cost :—£1,120.

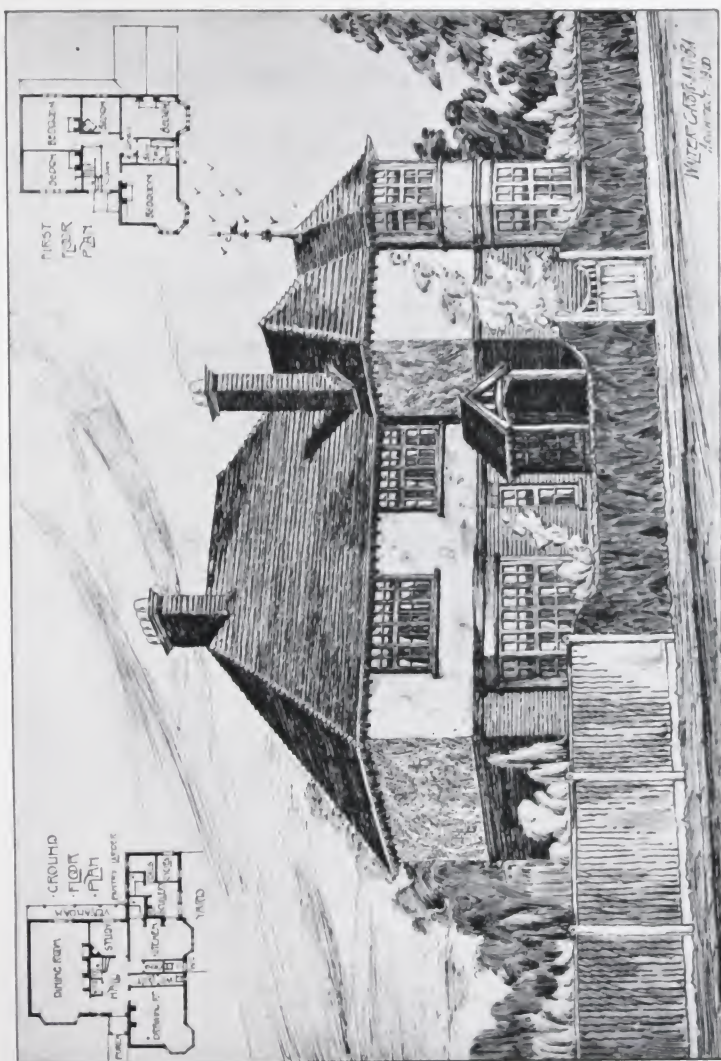


Plate 28. HOUSE AT SUTTON.

Accommodation:—as plans with good Bed Room and Box Room in roof.

This is a very complete and satisfactory plan and the house has been built four times.

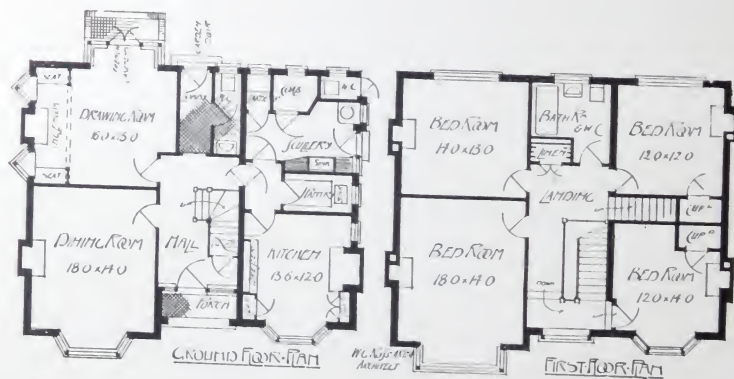
Reception Rooms: (1.) 18' 0" x 14' 0"; (2.) 16' 0" x 15' 0";

Bed Rooms: (1.) 18' 0" x 14' 0"; (2.) 14' 0" x 13' 0";
(3.) 14' 0" x 12' 0";

Elevations:—Roof covered with old tiles. Walls white rough cast with biscuit coloured terra cotta arch and dressings to Porch and tile hung gable and bays. Windows are casements with frames painted white and barge rafters and brackets stained dark.

Plot:—50 ft.

Cost:—£800.





W. G. Ross, A.R.I.B.A., Architect.

Plate 29.

BUNGALOW COTTAGE, PURTON, WILTS.

A Cottage of this type was built at Letchworth, the First Garden City, and attracted considerable attention during the Exhibition of Cottages there. It has since been built in as many as seven counties, and in this case was for the head gardener on an estate, but with slight modifications it can be adapted for a labourer's occupation, for small Holdings, or for a gentleman's week-end cottage. Bed Rooms and Bath Room have been arranged in the roof without materially altering the plan.

Accommodation:—as plan below with detached shed for Coals.

Living Room: 16' 0" × 12' 0" :

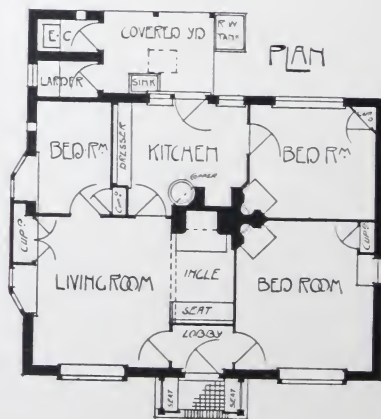
Bed Rooms: (1.) 12' 0" × 11' 0" : (2.) 10' 0" × 9' 0" :

(3.) 9' 0" × 6' 0" :

Elevations:—It is roofed with a patent tile which is a good and economical covering and can compete in price with slates. The walls are rough cast and the gables are half timbered. The woodwork is stained dark oak.

Plot:—40 ft.

Cost:—£210.





WATER GATE BRIDGE
ARCHITECT 1908

Plate 30.

BUNGALOW COTTAGE, PURTON, WILTS.

Interior shewing view of Ingle Nook in Living Room of Cottage illustrated in Plate 29. The fireplace is formed with glazed bricks, the woodwork is stained green and the walls are distempered.



Plate 31.
PAIR OF SEMI-DETACHED HOUSES,
SUTTON.

These houses have not yet been built.

Accommodation:—as plans with Coal Cellar and Larder in Basement and large Bed Room and Box Room in roof.

Reception Rooms: (1.) 18' 0" × 15' 0": (2.) 15' 0" × 15' 0":
Bed Rooms: (1.) 14' 6" × 14' 0": (2.) 13' 0" × 12' 6":

Elevations:—Roofs covered with black sand faced tiles giving the appearance of an old roof. Walls covered with bright red hanging tiles and white stucco. The quoins of chimneys and round front doors are of tiles. The windows are steel casements glazed with leaded lights.

Plots:—30 ft. each.

Cost:—£710 each.

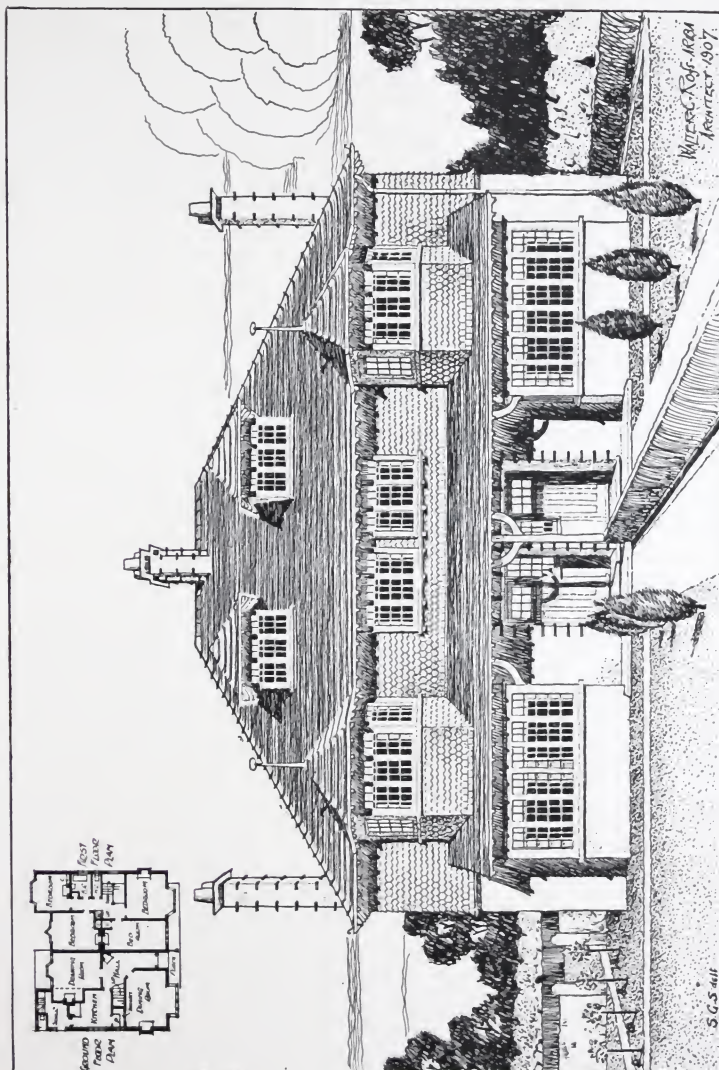


Plate 32. HOUSE, SHENFIELD, ESSEX.

Accommodation:—as plans.

Reception Rooms: (1) & (2.) $15' 6'' \times 13' 6''$:

Bed Rooms: (1) & (2.) $15' 6'' \times 13' 6''$:

Elevations:—Red tile roof. Red brick and cream rough cast walls. Woodwork painted white.

Plot:—45 ft.

Cost:—£650.

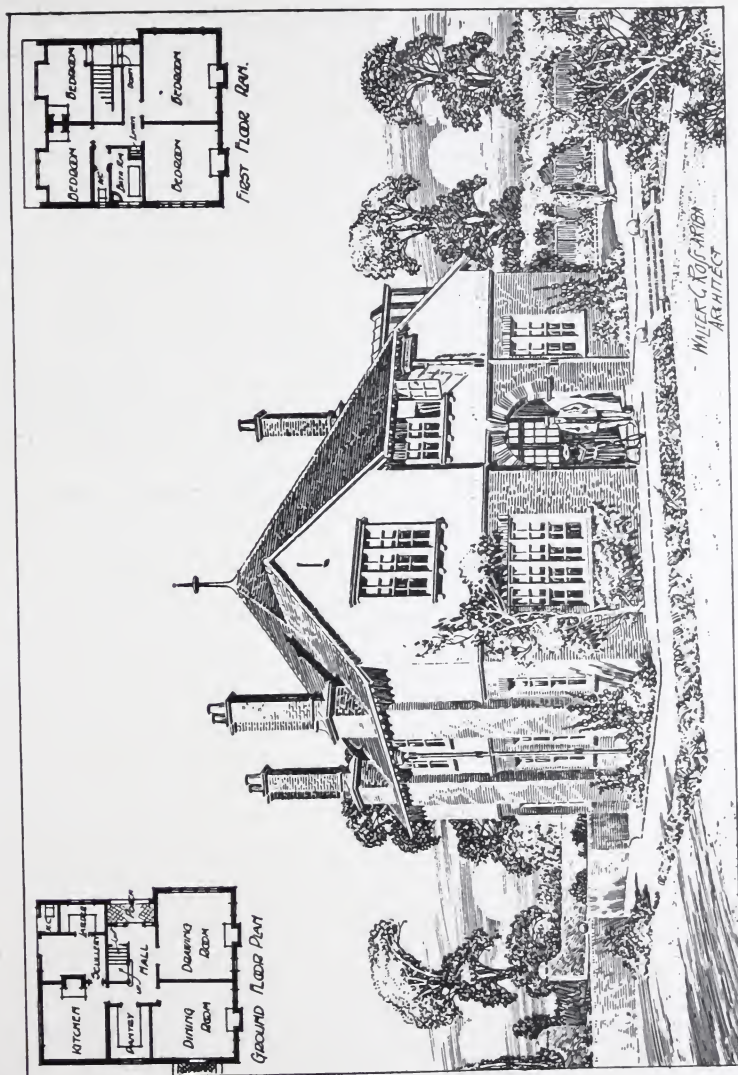


Plate 33. CORNER HOUSE, SUTTON.

This house has been built with slight modifications five times.

Accommodation:—as plans with Coal Cellar and Larder in Basement and two good Bed Rooms and Box Room in roof. The Hall, although not large has a cosy Ingle with fireplace and seats under stairs.

Reception Rooms: (1.) 16' 0" × 16' 0"; (2.) 18' 0" × 14' 0"; (3.) 14' 0" × 12' 0";

Bed Rooms: (1.) 18' 0" × 14' 0"; (2.) 16' 0" × 14' 0"; (3.) 14' 0" × 12' 0";

Elevations:—Dark tiled roofs. Bright red hanging tiles on Bays. Cream coloured rough cast walls. Entrance Porch with arch and quoins built in purple stocks. Wrought-iron gutter brackets. Casement windows with woodwork painted bright green. The front door is oak, wax polished.

Plot:—35 ft. exclusive of set back to the side building line.

Cost:—£1,050.





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